# Addendum No. 2 January 2, 2025

Project:	First Lutheran Church Sanctuary Entrance & Bathroom Remodel 327 S Dakota Avenue Sioux Falls, South Dakota 57104 Project #3082
Architect:	Architecture Incorporated
Letting:	Wednesday, January 8, 2025 11:00 A.M. CT First Lutheran Church – Trinity Room

Scope of this Addendum:

To all bidders and all others to whom drawings and specifications have been issued by Architecture Incorporated, this Addendum forms a part of the Contract Documents. Acknowledge receipt of this addendum by listing its number and date in the bidder's Form of Proposal. Failure to do so may subject bidder to disqualification. This addendum modifies the drawings and specifications as follows:

# **GENERAL ITEMS:**

- 1) <u>GENERAL</u>
  - a) Bid Opening and Award clarification per the Owner, the bids will be opened publicly. "The church council has the final say but more than likely, we would go with the lowest bid. The only reason we might not, is if a contractor has a slightly higher bid but we have worked with them on past projects and know the quality of their work."
  - b) Start Date clarification assuming the successful bid is within the Owner's budget, it is the Owner's intent to start the project as soon as possible following the bid opening.
  - c) Owner Occupancy clarification the building will be occupied throughout construction. Addendum #1 clarified that Room 162 needs to maintain access between Room 168 and the southeast entry to Room 157 throughout the project. While the Owner will prohibit seating in Room 157 during the project, they still need access to/from Room 162. There also needs to be access to Room S109 via Room 162 for the duration of the project. The Owner understands that once the work begins in bathrooms (rooms 164, 166A, and 166B), they will be offline until complete.
  - d) Project Manual clarification all references to Section 260533 RACEWAYS AND BOXES shall be changed to 261300 RACEWAYS AND BOXES.

### 2) <u>SPECIFICATION SECTION 011000 – SUMMARY</u>

a) Clarification of Part 1.7.G – The owner's background screening requirements include a Social Security Number Trace, National Sex Offender Registry, Global Watchlist Search, and National Criminal Records Check. The successful contractor shall provide a list of names and email addresses of people that will be working in the building to the Owner as soon as practical but at least one week before mobilizing. The Owner will use a third-party vendor and will pay for the background screening.

# 3) <u>SPECIFICATION SECTION 013300 – SUBMITTAL PROCEDURES</u>

a) Clarification of Part 2.1.A.1 – The Contractor may use an online submittal platform (ex. Procore, Submittal Exchange, or similar) in lieu of email for project submittals.

### 4) SPECIFICATION SECTION 015000 - TEMPORARY FACILITIES AND CONTROLS

- a) Omit Part 2.2.A. A mobile field office is not required. The Contractor can utilize space within the project limits for their needs.
- b) Clarification of Part 3.3.C the Owner has adequate parking available to the Contractor for necessary project staging and parking. Contractor parking shall be limited to the west and south sides of the parking lot south of the building. Trailers can be located on the south side of the parking lot adjacent the retaining wall north of Starbucks. Contractor is responsible for documenting the condition of the parking lot and repairing any damage as a result of their activities. Contractor shall make specific parking and staging requirements an agenda item for the Pre-Construction meeting. Note funerals may require temporary modification to the extent and location of contractor parking.

### 5) SPECIFICATION SECTION 092116 - GYPSUM BOARD SHAFT WALL ASSEMBLIES

a) Reference attached Specification Section 092116 for shaft wall assemblies.

# 6) DRAWING SHEET 1.20 – CODE PLAN

- a) Note the construction type of Building Area #2 is Type VA. Primary structural frame, bearing walls, and floor construction and associated secondary structural members are 1-hour fire rated. Those elements impacted by demolition and new construction of this project shall be patched as required to maintain the 1-hour fire rating.
- b) Reference attached revised Drawing Sheet 1.20:
  - i) The demarcation line between Building Area #1 & Building Area #2 has been identified on the Code Plan.
  - ii) Clarification of the Building Code information Building Area #2 has a fire sprinkler system.
  - iii) Refer to Wall Types scheduled for modifications to Wall Type H3.

# 7) DRAWING SHEET 4.11-A – FIRST FLOOR PLAN – AREA A

- a) At the north end of Hall 165, patch the existing wall and column surfaces to match existing/adjacent where the existing wall was removed to create the hall opening.
- b) At the south wall of Room 165A, patch the existing wall surface to match existing/adjacent where the existing wall was removed.
- c) Clarification of existing floor to deck dimensions Existing drawings from 1924 indicate the dimension from the finished floor of the lower level to the underside of the first floor structure is 11'-0" and the dimension from the finished floor of the first floor to the underside of the second floor structure is 11'-0". Floor structure is identified as 2 x 10's at 16" o.c. and floor to floor elevations are identified as 12'-0". The Contractor is responsible for field verifying this information.

# 8) <u>DRAWING SHEET 4.11-B – FIRST FLOOR PLAN – AREA B</u>

a) Clarification of existing floor to deck dimensions – Existing drawings from 1958 indicate the dimension from the finished floor of the first floor to the underside of the second floor slab on deck is 11'-9". Floor structure is identified as 16 WF 45's at 7'-4" o.c. and floor to floor

elevation is identified as 12'-2 5/8". The Contractor is responsible for field verifying this information.

### 9) DRAWING SHEET 4.21 – FIRST FLOOR FINISH & FURNITURE PLANS – AREAS A & B

a) First Floor – Finish Plan Area B clarification of painting extents – in addition to finishes within Room 106, the east face of the east wall of Room 106 shall be painted PNT-1 from the inside corner of the south exterior wall to the inside corner north of the pair of doors as indicated by the wall finish start/stop indicator.

### 10) DRAWING SHEET 4.30 - DOOR SCHEDULE & DETAILS

- a) Reference attached revised Drawing Sheet 4.30 for modifications to Detail 13/4.30. Note the approximate dimensions of the coiling door opening to be infilled are 8'-0" x 4'-6". The Contractor is responsible for field verifying this information.
- b) Reference attached revised Drawing Sheet 4.30 for modifications to Detail 14/4.30.

### 11) DRAWING SHEET 6.10 - LOWER LEVEL REFLECTED CEILING PLAN - AREA A

- a) Where removed to accommodate MEP demolition and new construction at the lower level, patch existing walls to match existing/adjacent.
- b) Where removed to accommodate MEP demolition and new construction at the lower level, patch existing plaster lid at the underside of first floor structure as required to maintain one hour rating of floor construction and associated secondary structural members.
- c) Provide penetration firestopping where new MEP items penetrate the existing plaster lid at the underside of first floor structure.

### 12) DRAWING SHEET 6.11 - FIRST FLOOR REFLECTED CEILING PLANS - AREAS A & B

- a) At Area A reflected ceiling plan Where existing walls were removed, patch existing lid at the underside of second floor structure as required to maintain one hour rating of floor construction and associated secondary structural members.
- b) Provide penetration firestopping where new MEP items penetrate the existing lid at the underside of second floor structure.

### MECHANICAL ITEMS: NA

### ELECTRICAL ITEMS: NA

# GENERAL APPROVALS:

The following material or equipment furnished by the manufacturers listed may be substituted as equivalent providing that each item, material, and piece of equipment conforms to the design and requirement of the specifications.

<b>SECTION</b>	ITEM	MANUFACTURER
062023	Interior Finish Carpentry	Rosebud Wood Products
123216	Manufactured Plastic-Laminate-Faced Casework	Rosebud Wood Products
220400	Flush Valves	American Standard
230800	Inline Exhaust Fan	Acme

END OF ADDENDUM

### SECTION 092116 - GYPSUM BOARD SHAFT WALL ASSEMBLIES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

A. Section Includes:1. Gypsum board shaft wall assemblies for vertical and horizontal applications.

#### 1.3 ACTION SUBMITTALS

A. Product Data: For each component of gypsum board shaft wall assembly.

#### 1.4 DELIVERY, STORAGE, AND HANDLING

A. Store materials inside under cover and keep them dry and protected against weather, condensation, direct sunlight, construction traffic, and other potential causes of damage. Stack panels flat and support them on risers on a flat platform to prevent sagging.

#### 1.5 FIELD CONDITIONS

- A. Environmental Limitations: Comply with gypsum-shaftliner-board manufacturer's written instructions.
- B. Do not install finish panels until installation areas are enclosed and conditioned.
- C. Do not install panels that are wet, moisture damaged, or mold damaged.
  - 1. Indications that panels are wet or moisture damaged include, but are not limited to, discoloration, sagging, and irregular shape.
  - 2. Indications that panels are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

### PART 2 - PRODUCTS

#### 2.1 PERFORMANCE REQUIREMENTS

A. Fire-Resistance-Rated Assemblies: For fire-resistance-rated assemblies, provide materials and construction identical to those tested in assembly indicated according to ASTM E119 by an independent testing agency.

### 2.2 VERTICAL GYPSUM BOARD SHAFT WALL ASSEMBLIES

- A. Fire-Resistance Rating: 3 hour.
- B. Gypsum Shaftliner Board:
  - 1. Moisture- and Mold-Resistant Type X: ASTM C1396/C1396M; manufacturer's proprietary fireresistive liner panels with ASTM D3273 mold-resistance score of 10 as rated according to ASTM D3274, 1 inch (25.4 mm) thick, and with double beveled long edges.
    - a. Products: Subject to compliance with requirements, provide one of the following:
      - 1) CertainTeed Corp.; ProRoc Moisture and Mold Resistant Shaftliner.
      - 2) Georgia-Pacific Gypsum LLC, Subsidiary of Georgia Pacific; Dens-Glass Ultra Shaftliner.
      - 3) National Gypsum Company; Gold Bond Brand Fire-Shield Shaftliner XP.
      - 4) USG Corporation; Sheetrock Brand Mold Tough Gypsum Liner Panel.
    - b. Thickness: 1 inch (25.4 mm).
    - c. Long Edges: Double bevel.
- C. Non-Load-Bearing Steel Framing, General: Complying with ASTM C645 requirements for metal unless otherwise indicated and complying with requirements for fire-resistance-rated assembly indicated.
  - 1. Protective Coating: ASTM A653/A653M, G60 (Z180), hot-dip galvanized unless otherwise indicated.
- D. Studs: Manufacturer's standard profile for repetitive, corner, and end members as follows:
  - 1. Depth: 2 1/2 inches (64 mm) unless indicated otherwise.
  - 2. Minimum Base-Metal Thickness: 0.033 inch (0.84 mm).
  - 3. Stud spacing 24 inches o.c.
- E. Runner Tracks: Manufacturer's standard J-profile track with manufacturer's standard long-leg length, but at least 2 inches (51 mm) long and matching studs in depth.
  - 1. Minimum Base-Metal Thickness: Matching steel studs.
- F. Firestop Tracks: Top runner manufactured to allow partition heads to expand and contract with movement of the structure while maintaining continuity of fire-resistance-rated assembly indicated; in thickness not less than indicated for studs and in width to accommodate depth of studs.
  - Products: Subject to compliance with requirements, provide one of the following:
    - a. Fire Trak Corp.; Fire Trak System attached to studs with Fire Trak Posi Klip.
    - b. Grace Construction Products; FlameSafe FlowTrak System.
    - c. Metal-Lite, Inc.; The System.
    - d. Steel Network Inc. (The); VertiClip SLD Series.
- G. Finish Panels: Gypsum board as specified in Section 092900 "Gypsum Board."
- H. Sound Attenuation Blankets: As specified in Section 092900 "Gypsum Board."

### 2.3 AUXILIARY MATERIALS

1.

- A. Provide auxiliary materials that comply with shaft wall manufacturer's written instructions.
- B. Trim Accessories: Cornerbead, edge trim, and control joints of material and shapes as specified in Section 092900 "Gypsum Board" that comply with gypsum board shaft wall assembly manufacturer's written instructions for application indicated.
- C. Steel Drill Screws: ASTM C1002 unless otherwise indicated.

- D. Track Fasteners: Power-driven fasteners of size and material required to withstand loading conditions imposed on shaft wall assemblies without exceeding allowable design stress of track, fasteners, or structural substrates in which anchors are embedded.
  - 1. Expansion Anchors: Fabricated from corrosion-resistant materials, with allowable load or strength design capacities calculated according to ICC-ES AC193 and ACI 318 greater than or equal to the design load, as determined by testing per ASTM E488/E488M conducted by a qualified testing agency.
  - 2. Power-Actuated Anchors: Fastener system of type suitable for application indicated, fabricated from corrosion-resistant materials, with allowable load capacities calculated according to ICC-ES AC70, greater than or equal to the design load, as determined by testing per ASTM E1190 conducted by a qualified testing agency.
- E. Reinforcing: Galvanized-steel reinforcing strips with 0.033-inch (0.84-mm) minimum thickness of base metal (uncoated).

### PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Examine panels before installation. Reject panels that are wet, moisture damaged, or mold damaged.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

#### 3.2 INSTALLATION

- A. General: Install gypsum board shaft wall assemblies to comply with requirements of fire-resistance-rated assemblies indicated and manufacturer's written installation instructions.
- B. Do not bridge building expansion joints with shaft wall assemblies; frame both sides of expansion joints with furring and other support.
- C. Install supplementary framing in gypsum board shaft wall assemblies around openings and as required for blocking, bracing, and support of gravity and pullout loads of fixtures, equipment, services, heavy trim, furnishings, wall-mounted door stops, and similar items that cannot be supported directly by shaft wall assembly framing.
  - 1. Reinforcing: Provide where items attach directly to shaft wall assembly as indicated on Drawings; accurately position and secure behind at least one layer of face panel.
- D. Penetrations: At penetrations in shaft wall, maintain fire-resistance rating of shaft wall assembly by installing supplementary steel framing around perimeter of penetration and fire protection behind boxes containing wiring devices, elevator call buttons and floor indicators, and similar items.
- E. Isolate perimeter of gypsum panels from building structure to prevent cracking of panels while maintaining continuity of fire-rated construction.
- F. Firestop Tracks: Where indicated, install to maintain continuity of fire-resistance-rated assembly indicated.
- G. Control Joints: Install control joints according to ASTM C840 while maintaining fire-resistance rating of gypsum board shaft wall assemblies.

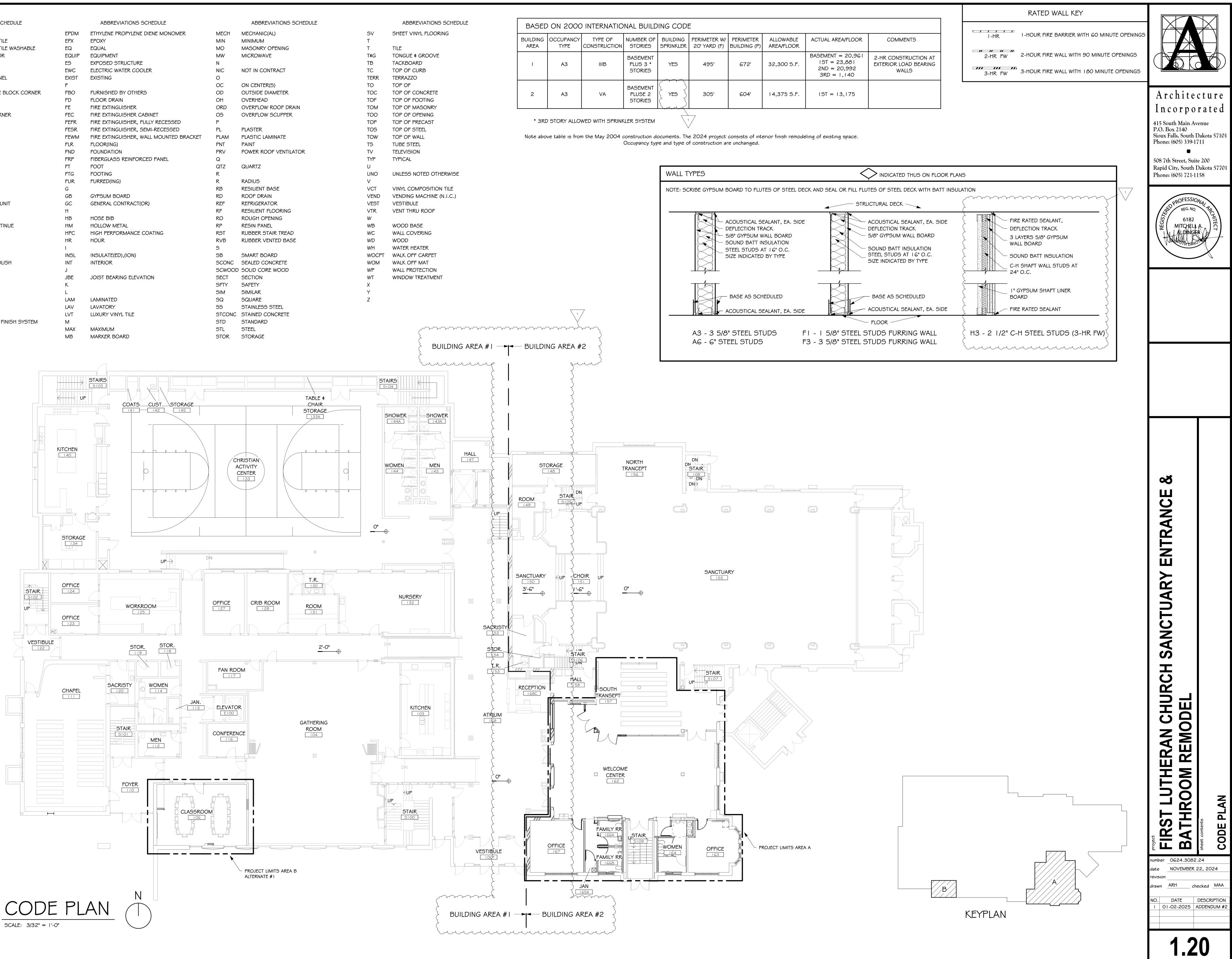
- H. Sound-Rated Shaft Wall Assemblies: Seal gypsum board shaft walls with acoustical sealant at perimeter of each assembly where it abuts other work and at joints and penetrations within each assembly.
- I. Installation Tolerance: Install each framing member so fastening surfaces vary not more than 1/8 inch (3 mm) from the plane formed by faces of adjacent framing.

### 3.3 **PROTECTION**

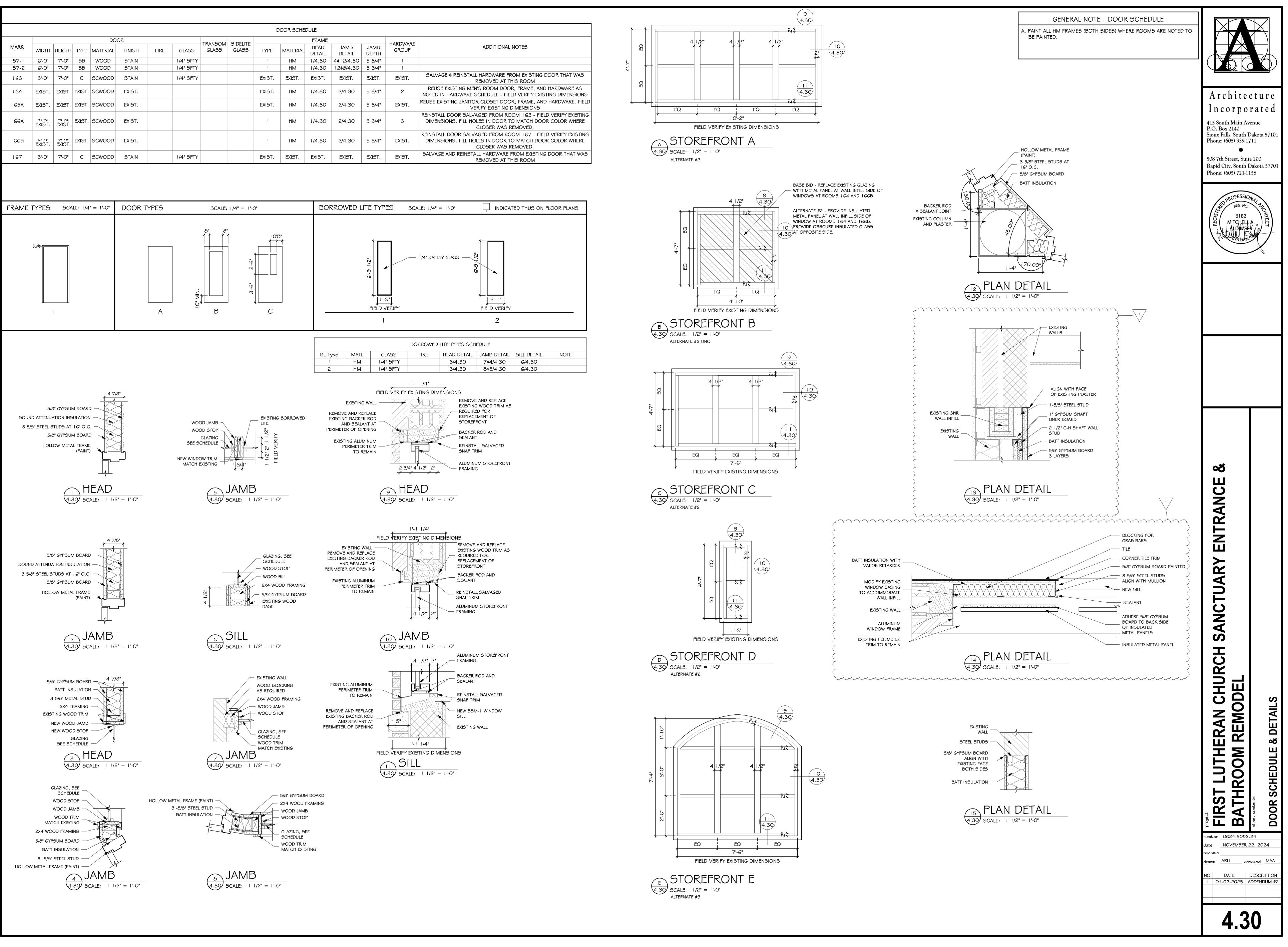
- A. Protect installed products from damage from weather, condensation, direct sunlight, construction, and other causes during remainder of the construction period.
- B. Remove and replace panels that are wet, moisture damaged, or mold damaged.
  - 1. Indications that panels are wet or moisture damaged include, but are not limited to, discoloration, sagging, and irregular shape.
  - 2. Indications that panels are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

#### END OF SECTION 092116

	ABBREVIATIONS SCHEDULE		ABBREVIATIONS SCHEDULE		ABBREV
А		EPDM	ETHYLENE PROPYLENE DIENE MONOMER	MECH	MECHANIC(A
ACT	ACOUSTICAL CEILING TILE	EPX	EPOXY	MIN	MINIMUM
ACTW	ACOUSTICAL CEILING TILE WASHABLE	EQ	EQUAL	MO	MASONRY O
AFF	ABOVE FINISHED FLOOR	EQUIP	EQUIPMENT	MW	MICROWAVE
ALT	ALTERNATE	ES	EXPOSED STRUCTURE	Ν	
ALUM	ALUMINUM	EWC	ELECTRIC WATER COOLER	NIC	NOT IN CON
AWP	ACOUSTICAL WALL PANEL	EXIST	EXISTING	0	
В		F		OC	ON CENTER(
BBN	BURNISHED BULLNOSE BLOCK CORNER	FBO	FURNISHED BY OTHERS	OD	OUTSIDE DIA
BC	BOTTOM OF CURB	FD	FLOOR DRAIN	OH	OVERHEAD
BLDG	BUILDING	FE	FIRE EXTINGUISHER	ORD	OVERFLOW F
BN	BULLNOSE BLOCK CORNER	FEC	FIRE EXTINGUISHER CABINET	05	OVERFLOW S
BO	BOTTOM OF	FEFR	FIRE EXTINGUISHER, FULLY RECESSED	Р	
BOW	BOTTOM OF WALL	FESR	FIRE EXTINGUISHER, SEMI-RECESSED	PL	PLASTER
BRG	BEARING	FEWM	FIRE EXTINGUISHER, WALL MOUNTED BRACKET	PLAM	PLASTIC LAN
BRL	BRICK LEDGE	FLR	FLOOR(ING)	PNT	PAINT
BURN	BURNISHED BLOCK	FND	FOUNDATION	PRV	POWER ROO
С		FRP	FIBERGLASS REINFORCED PANEL	Q	
CF	CORE FLOOR	FT	FOOT	QTZ	QUARTZ
CG	CORNER GUARD	FTG	FOOTING	R	
CJ	CONTROL JOINT	FUR	FURRED(ING)	R	RADIUS
CL	CENTER LINE	G		RB	RESILIENT BA
CLG	CEILING	GB	GYPSUM BOARD	RD	ROOF DRAIN
CMU	CONCRETE MASONRY UNIT	GC	GENERAL CONTRACT(OR)	REF	REFRIGERAT
COL	COLUMN	Н		RF	RESILIENT FL
CONC	CONCRETE	HB	HOSE BIB	RO	ROUGH OPE
CONT	CONTINUOUS OR CONTINUE	НМ	HOLLOW METAL	RP	RESIN PANEL
CORR	CORRIDOR	HPC	HIGH PERFORMANCE COATING	RST	RUBBER STA
CPT	CARPET(ED)	HR	HOUR	RVB	RUBBER VEN
CR	CARD READER	I		5	
D		INSL	INSULATE(ED),(ION)	SB	SMART BOA
DEMO	DEMOLITION OR DEMOLISH	INT	INTERIOR	SCONC	SEALED CON
DF	DRINKING FOUNTAIN	J		SCWOOD	SOLID CORE
DIM	DIMENSION	JBE	JOIST BEARING ELEVATION	SECT	SECTION
DN	DOWN	K		SFTY	SAFETY
DP	DECORATIVE PANEL	L		SIM	SIMILAR
DWG	DRAWING	LAM	LAMINATED	SQ	SQUARE
E		LAV	LAVATORY	55	STAINLESS S
EA	EACH	LVT	LUXURY VINYL TILE	STCONC	STAINED CO
EIFS	EXTERIOR INSULATION FINISH SYSTEM	М		STD	STANDARD
EJ	EXPANSION JOINT	MAX	MAXIMUM	STL	STEEL
ELEC	ELECTRIC(AL)	MB	MARKER BOARD	STOR	STORAGE



						1		RATED WALL KEY
D	E							
G ER	PERIMETER W/ 20' YARD (F)	PERIMETER BUILDING (P)	ALLOWABLE AREA/FLOOR	ACTUAL AREA/FLOOR	COMMENTS		I -HR	I -HOUR FIRE BARRIER WITH GO N
	495'	672'	32,300 S.F.	BASEMENT = 20,961 IST = 23,881 2ND = 20,992 3RD = 1,140	2-HR CONSTRUCTION AT EXTERIOR LOAD BEARING WALLS		2-HR FW 3-HR FW	2-HOUR FIRE WALL WITH 90 MINI
	305'	604'	14,375 S.F.	IST = 13,175			L	
						_		



HARDWARE		HARDWARE				
B JL	JAMB DEPTH	GROUP	ADDITIONAL NOTES			
.30	5 3/4"	1				
.30	5 3/4"	I				
Γ.	EXIST.	EXIST.	SALVAGE & REINSTALL HARDWARE FROM EXISTING DOOR THAT WAS REMOVED AT THIS ROOM			
30	5 3/4"	2	REUSE EXISTING MEN'S ROOM DOOR, FRAME, AND HARDWARE AS NOTED IN HARDWARE SCHEDULE - FIELD VERIFY EXISTING DIMENSIONS			
30	5 3/4"	EXIST.	REUSE EXISTING JANITOR CLOSET DOOR, FRAME, AND HARDWARE. FIELD VERIFY EXISTING DIMENSIONS			
30	5 3/4"	3	REINSTALL DOOR SALVAGED FROM ROOM 163 - FIELD VERIFY EXISTING DIMENSIONS. FILL HOLES IN DOOR TO MATCH DOOR COLOR WHERE CLOSER WAS REMOVED.			
30	5 3/4"	EXIST.	REINSTALL DOOR SALVAGED FROM ROOM 167 - FIELD VERIFY EXISTING DIMENSIONS. FILL HOLES IN DOOR TO MATCH DOOR COLOR WHERE CLOSER WAS REMOVED.			
Γ.	EXIST.	EXIST.	SALVAGE AND REINSTALL HARDWARE FROM EXISTING DOOR THAT WAS REMOVED AT THIS ROOM			

BORROWED LITE TYPES SCHEDULE						
MATL	GLASS	FIRE	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	NOTE
НМ	1/4" SFTY		3/4.30	7\$4/4.30	6/4.30	
НМ	1/4" SFTY		3/4.30	8¢5/4.30	6/4.30	