

Addendum No. 1
February 15, 2024

Project: W. M. Lee Center for Fine Arts – Art Studios
University of South Dakota
Vermillion, South Dakota
OSE Project #R0624--04X/DEL
Architecture Incorporated Project #3041

Architect: Architecture Incorporated

Letting: Thursday, February 29, 2024
10:00 a.m. CT
USD Purchasing Office, 209 Slagle Hall, 414 East Clark St., Vermillion, SD 57069

Scope of this Addendum:

To all bidders and all others to whom drawings and specifications have been issued by Architecture Incorporated, this Addendum forms a part of the Contract Documents. Acknowledge receipt of this addendum by listing its number and date in the bidder's Form of Proposal. Failure to do so may subject bidder to disqualification. This addendum modifies the drawings and specifications as follows:

GENERAL ITEMS:

1) **GENERAL ITEMS**

- a) Pre-bid meeting minutes from February 14, 2024, are attached to the end of this addendum.
- b) Additional Architecture Incorporated contacts: in addition to Mitchell Aldinger, Stuart Plimpton and Dallas Willman can also be contacted at Architecture Incorporated for questions pertaining to this project.
- c) Note access to the crawl space can be achieved via access doors at the stair towers.

2) **SPECIFICATION SECTION 012300 - ALTERNATES**

- a) Article 3.A.1 – Add Alternate #1 shall include removal and replacement of existing light fixtures at First Floor rooms/spaces beneath the mezzanine.

3) **DRAWING SHEET 4.00 – DEMOLITION FLOOR PLANS**

- a) PARTIAL FLOOR PLAN – DEMOLITION; The demolition floor plan view has been expanded to the west to more clearly show additional wood framed walls to be demolished in Studio (16)
- b) Reference revised drawing Sheet 4.00, revision dated 02-15-2024, attached to the end of this addendum for additional information.

4) **DRAWING SHEET 4.10 – FLOOR PLAN, DOOR SCHEDULE, DETAILS**

- a) DETAIL 7/4.10; the note regarding CMU patching that reads “2” *CMU SOAP BLOCK WITH BULLNOSE CORNERS, PAINT*” should be changed to “2” *CMU SOAP BLOCK WITH BULLNOSE CORNERS*”

5) **DRAWING SHEET 4.11 – PARTIAL SECOND FLOOR FINISH PLAN AND CEILING PLAN**

- a) PARTIAL SECOND FLOOR – FINISH PLAN; Add note at the existing door for Storage Room (210E), “*POINT GAP BETWEEN LINTEL AND FRAME WITH GROUT*”

MECHANICAL ITEMS:

NA

ELECTRICAL ITEMS:

NA

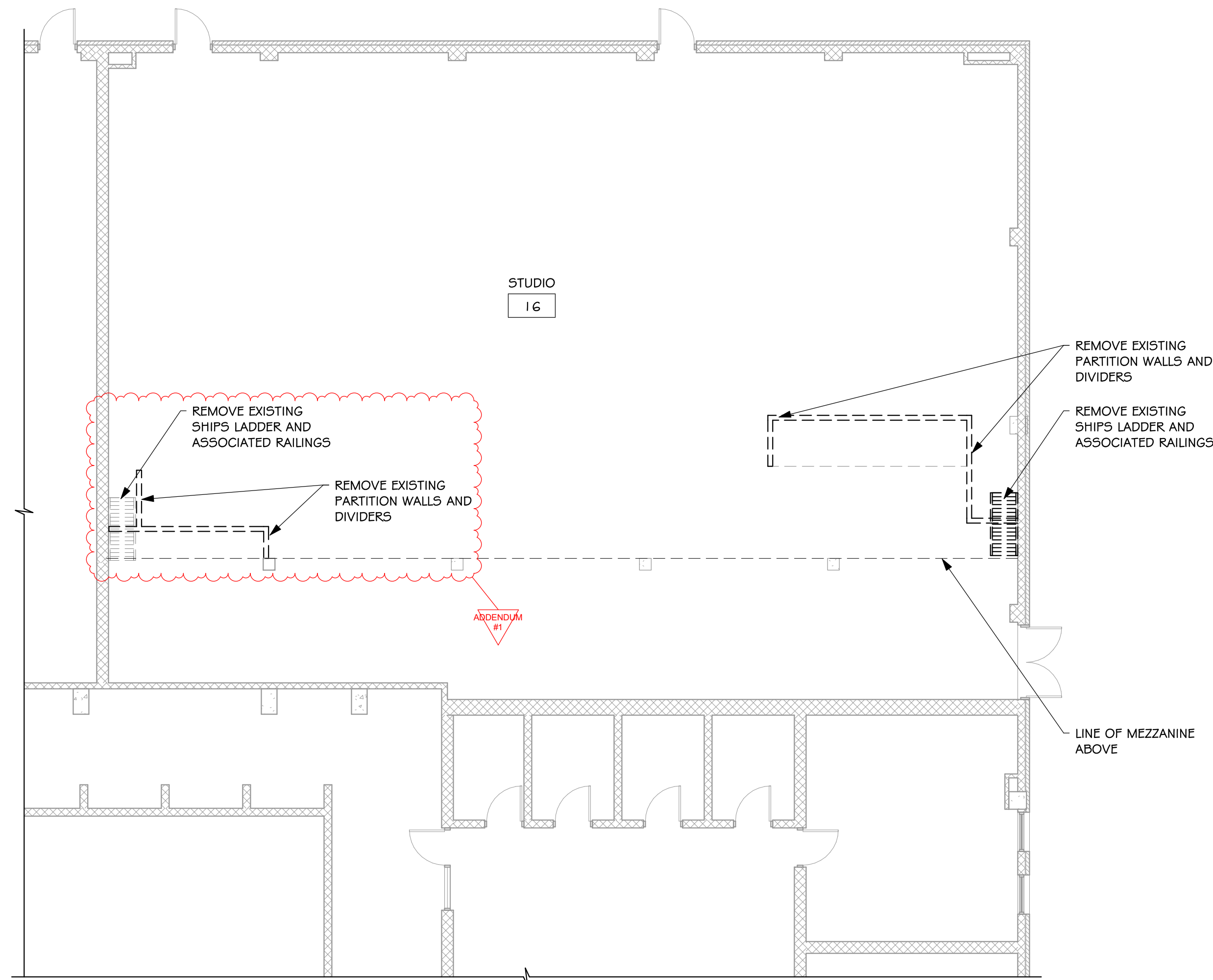
GENERAL APPROVALS:

The following material or equipment furnished by the manufacturers listed, may be substituted as equivalent providing that each item, material, and piece of equipment conforms to the design and requirement of the specifications.

<u>SECTION</u>	<u>ITEM</u>	<u>MANUFACTURER</u>
----------------	-------------	---------------------

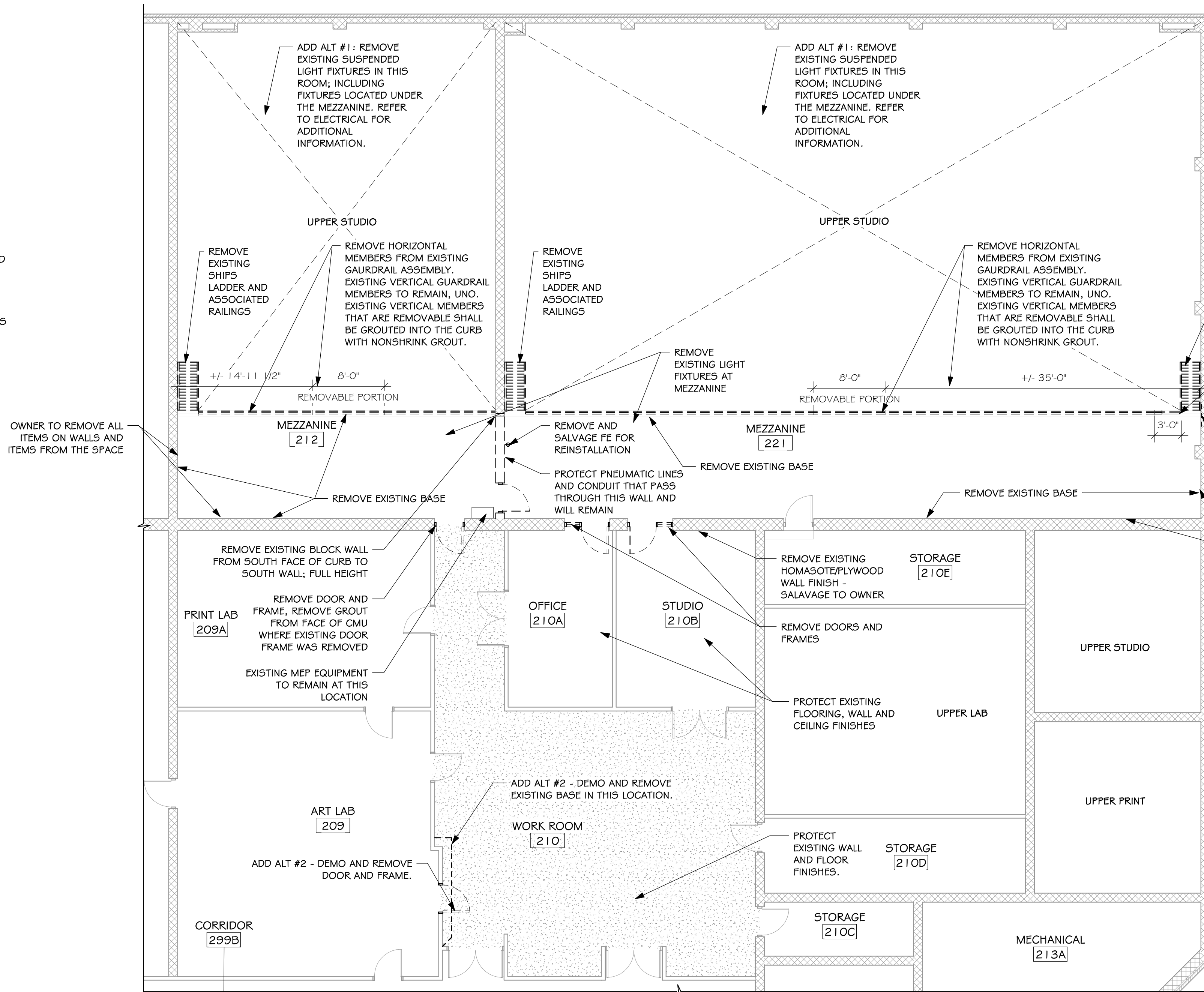
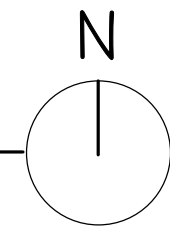
END OF ADDENDUM

2/15/2024 12:17:49 PM



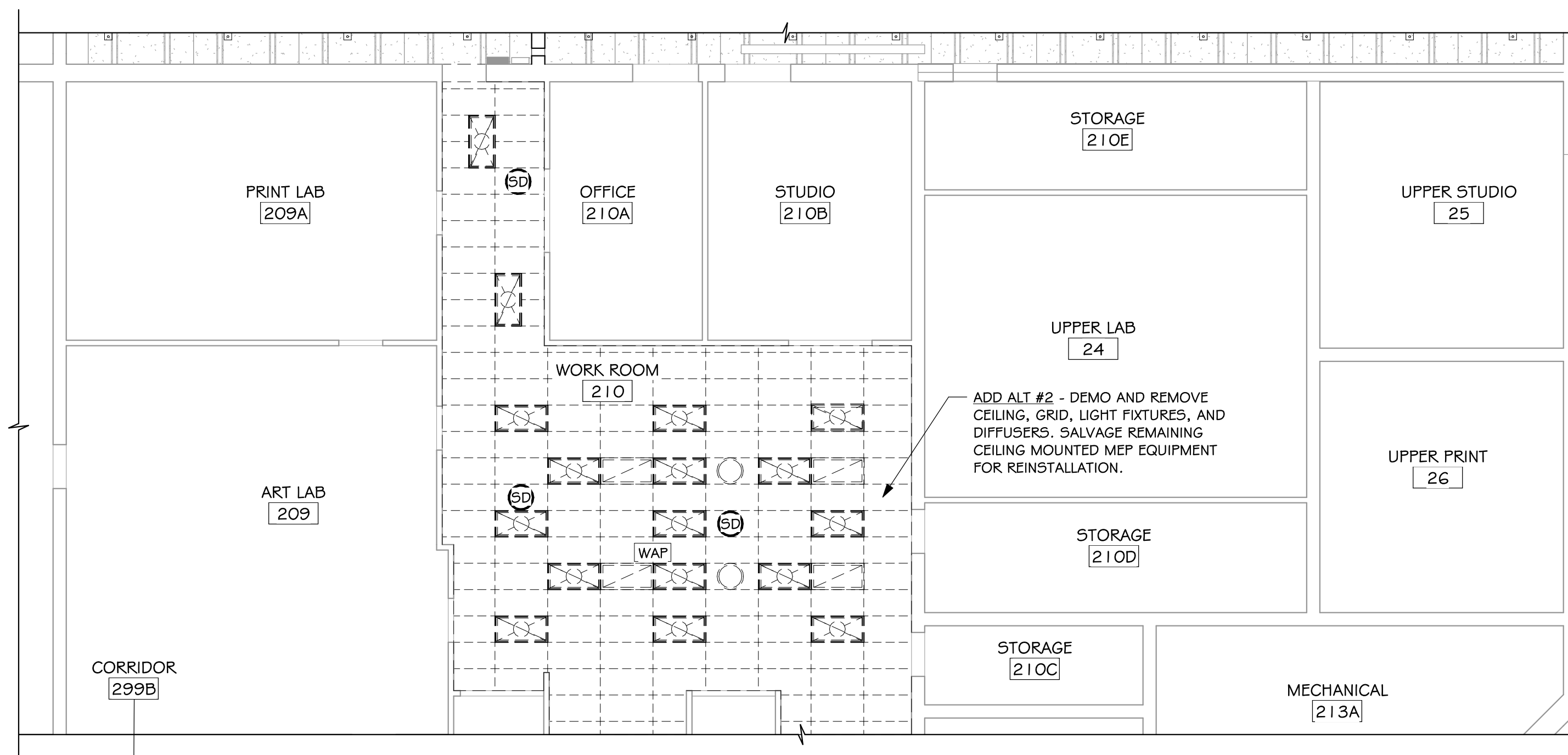
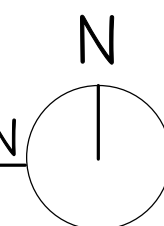
PARTIAL FLOOR PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"



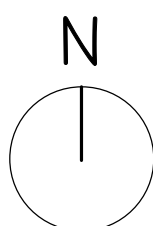
PARTIAL SECOND FLOOR - DEMOLITION

SCALE: 1/8" = 1'-0"



PARTIAL SECOND FLOOR CEILING PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"

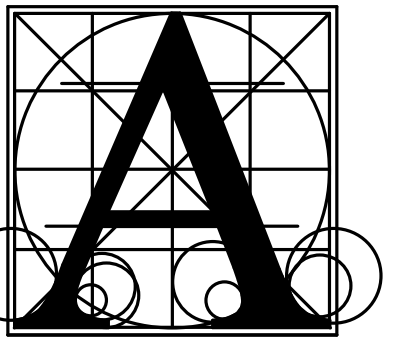


GENERAL NOTES - DEMOLITION

- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE. REPORT DISCREPANCIES TO THE ARCHITECT.
- COORDINATE FLOOR SLAB AND CEILING DEMOLITION WITH STRUCTURAL AND ELECTRICAL DRAWINGS. GENERAL CONTRACTOR SHALL REMOVE FLOOR SLABS AND CEILINGS AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW STRUCTURAL AND ELECTRICAL SYSTEMS. PATCH CONCRETE SLABS AND CEILINGS BACK TO MATCH ADJACENT FINISHES.
- EXISTING FIRST FLOOR CONSTRUCTION CONSISTS OF STEEL BAR JOISTS WITH A THIN CONCRETE SLAB ON STEEL DECK ABOVE, OVER A CRAWL SPACE. NEITHER THE ARCHITECT NOR THE STRUCTURAL ENGINEER CAN CERTIFY THE LOADING CAPACITY OF THE EXISTING FLOOR SYSTEM FOR DEMOLITION AND CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT. NO LIFTS ARE ALLOWED ON FLOOR.
- REFER TO ELECTRICAL DOCUMENTS FOR ADDITIONAL INFORMATION.

DEMOLITION LEGEND

- INDICATES EXISTING ITEMS TO REMAIN
- INDICATES DEMOLITION ITEMS
- INDICATES DOOR AND FRAME TO BE REMOVED. (UNO)
- INDICATES WINDOW TO BE REMOVED. (UNO)
- REMOVE EXISTING CEILING, OR PORTION OF CEILING, WHERE THIS HATCH IS INDICATED.
- REMOVE EXISTING FLOOR FINISH, OR PORTION OF FLOOR FINISH, AND ASSOCIATED BASE WHERE THIS HATCH IS INDICATED.
- REMOVE AND DISPOSE OF CONCRETE FLOOR SLAB WHERE THIS HATCH IS INDICATED.

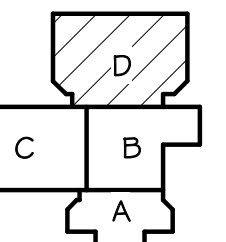


Architecture
Incorporated

415 South Main Avenue
P.O. Box 2140
Sioux Falls, South Dakota 57101
Phone: (605) 339-1711

815 St. Joseph Street, Suite 203
Rapid City, South Dakota 57701
Phone: (605) 721-1158

2/15/2024
12:17:49 PM



KEYPLAN

W. M. LEE CENTER FOR FINE ARTS - ART STUDIOS

DEMOLITION FLOOR PLANS

Project

number 0621.3041.23

date FEBRUARY 1, 2024

revision

drawn DMW checked MAA

DATE DESCRIPTION

02.15.2024 ADDENDUM #1

4.00



W.M. Lee Center for Fine Arts- Art Studios
W.M. Lee Center for Fine Arts
University of South Dakota
Vermillion, South Dakota

Pre-bid Meeting
February 14, 2024

OSE Project No.: R0624—04X/DEL
Architect's Project No.: 3041

Attendees:

Pierre Suarez, USD project manager
Zach Zingmark, Hegg Construction
Chris Daabe, Hegg Construction
Lonnie Kneifl, Kneifl Electric
Justin Koepp, Electric Construction
Cowell Cook, Cook Construction
John Pinkelman, Menford Electric LLC

Nathan Reichert, Lloyd
Dana Rand, L&L Builders.com
Adam Meyer, Peska Construction
Kevin Olney, Sunkota Construction
Dustin Schoute, Patriot Construction
Stuart Plimpton, Architecture Incorporated

Discussions:

1. Introductions:

- a. Pierre Suarez, USD Project Manager/ Representative
- b. Mitch Aldinger, Architect.
- c. Dallas Willman, Interior Designer
- d. Stuart Plimpton, Architectural Graduate

2. Project Information

- a. Scope:
 - i. The project consists of selective demolition, framing, drywall, masonry, steel stairs, doors, acoustic ceiling system, interior finishes, and lighting and electrical modifications as shown on the contract documents.
 - ii. Alternate #1 – Remove and replace existing suspended lighting above rooms 16 and 17 and at first floor spaces beneath the mezzanine. **Add #1 (unreleased as of this meeting)**
Part 3.A.1 – Note Add Alternate #1 shall also include removal and replacement of existing light fixtures at first floor rooms/spaces beneath the mezzanine.
 - iii. Alternate #2 – Infill door opening, remove and replace existing lay-in ceiling and lighting, and paint walls at room 210.
- b. The Project will be constructed under a single prime contract with the owner.
- c. Liquidated damages of \$250/calendar day apply to this project.

CREATIVE SOLUTIONS ■ PROVEN SERVICE

Sioux Falls: 415 South Main Avenue, Sioux Falls, SD 57104 Phone: 605.339.1711
Rapid City: 815 St. Joseph Street, Suite 203, Rapid City, SD 57701 Phone: 605.721.1158
www.architectureinc.com | mail@architectureinc.com



3. Key Dates

- a. Project bids: February 29, 2024 at 10:00a.m. CT at the USD Purchasing Office.
- b. Commencement of Contract: March: 4, 2024
- c. Commencement of construction: May 6, 2024
- d. Substantial Completion: July 26, 2024
- e. Final Completion August 9, 2024

4. Tour of Existing Building

5. Other Notes and Discussions from Meeting.

- a. The soap block caps for the opening in existing masonry on the second floor (as seen in detail 7/4.10) should not be painted.
- b. Dana Rand of L&L Construction questioned the verbiage for the Work to be done in Work Room (210)
 - i. Rand Noted that certain wall elements were in poor shape, trim, switches, particle board, etc.
 - ii. USD reassured that the instruction to “Clean walls, prep walls, and patch existing wall holes prior to new paint.” Adequately conveyed their intent for ADD ALT #2
 - iii. Images 4 shows corner to be left alone.
- c. Existing walls at the bottom of the western ships ladder in Studio (16), shall be demolished by the contractor.
 - i. See Images 1 & 2
- d. The existing door in Storage Room (210E) has crumbling grout under the lintel.
 - i. The owner would like this patched with new grout
 - ii. See Image 3
- e. USD to provide information on parking and staging.
- f. Work will be performed around normal building functions
 - i. Work to be coordinated with USD representatives to not disrupt classes and other university functions.
 - ii. Arch. Inc. was questioned about the projected base-bid price before the meeting.
 - 1. A \$225,000 preliminary estimate was shared during the meeting.

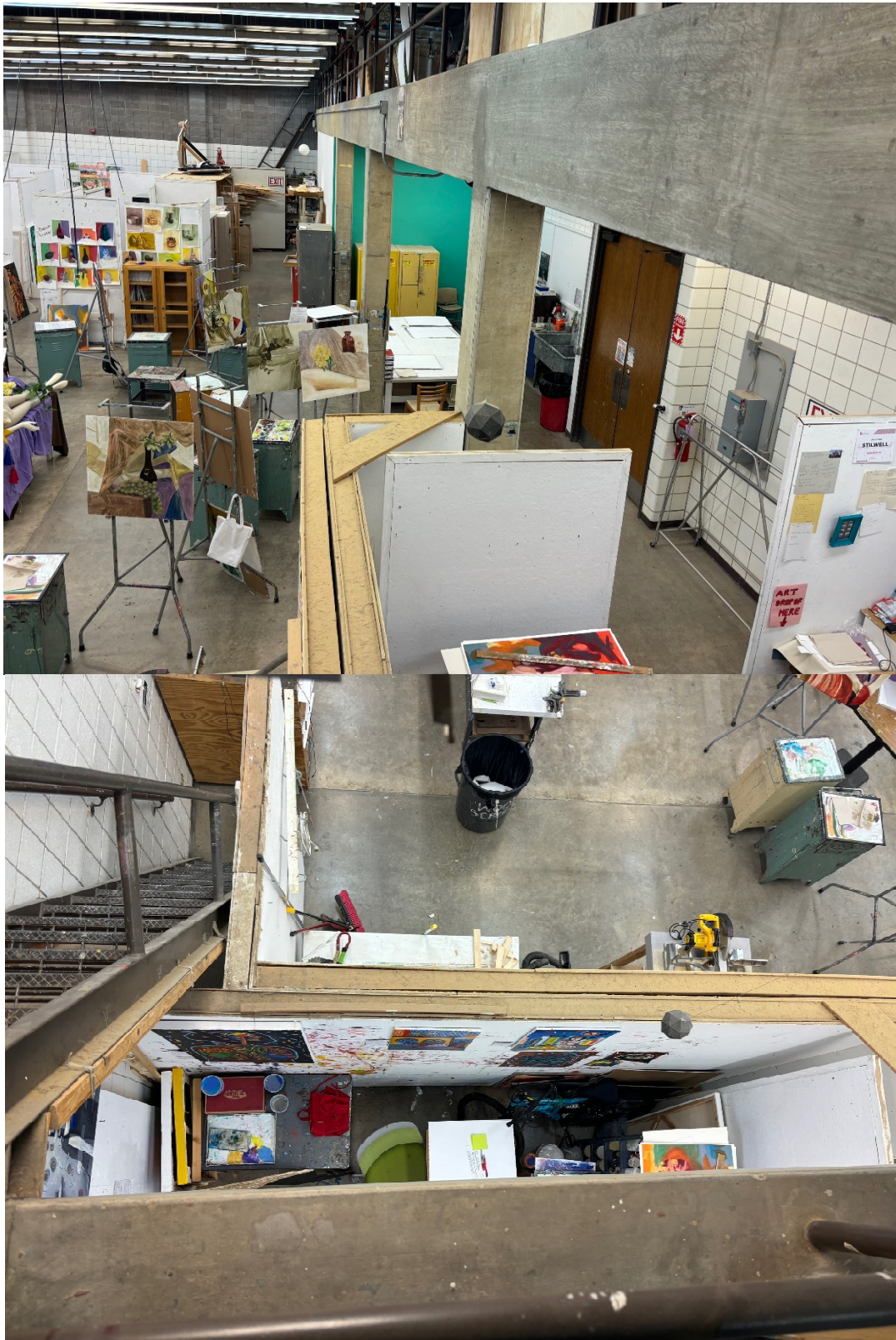
Respectfully submitted,

Stuart Plimpton, Assoc. AIA

Minutes of this meeting will be distributed via Addendum #1



Architecture Incorporated



CREATIVE SOLUTIONS ■ PROVEN SERVICE

Sioux Falls: 415 South Main Avenue, Sioux Falls, SD 57104 Phone: 605.339.1711
Rapid City: 815 St. Joseph Street, Suite 203, Rapid City, SD 57701 Phone: 605.721.1158
www.architectureinc.com | mail@architectureinc.com



Architecture Incorporated



CREATIVE SOLUTIONS ■ **PROVEN SERVICE**

Sioux Falls: 415 South Main Avenue, Sioux Falls, SD 57104 Phone: 605.339.1711
Rapid City: 815 St. Joseph Street, Suite 203, Rapid City, SD 57701 Phone: 605.721.1158
www.architectureinc.com | mail@architectureinc.com